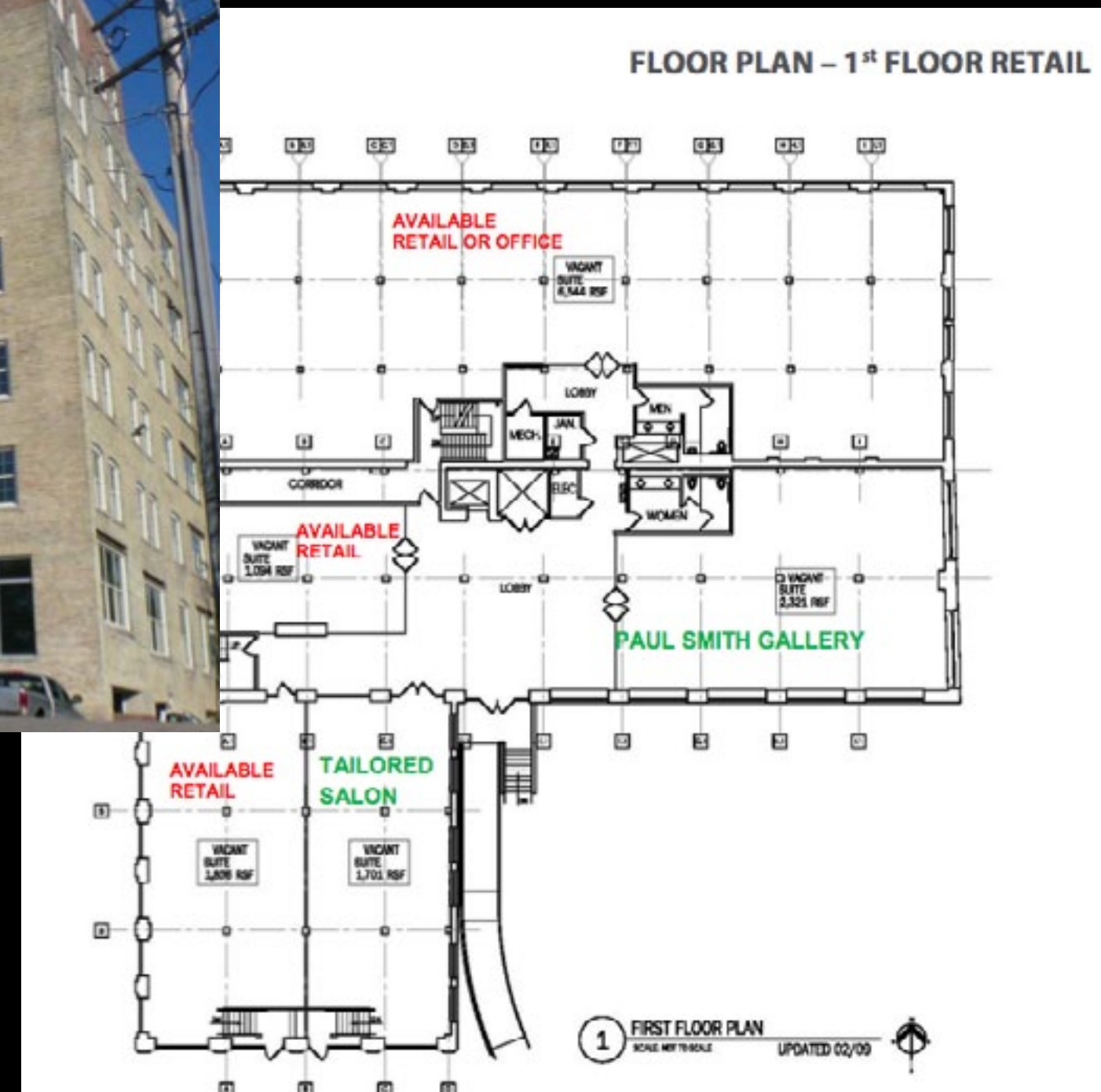


COREY NICHOLAS COLLINS



CLIENT
URBAN LEGENDS BOUTIQUE

PROJECT DESCRIPTION
COMMERCIAL SPACE LAYOUT & CONCEPT - ARCHITECTURAL 3-D RENDERING & INTERIOR DESIGN

LOCATION
234 WEST FLORIDA MILWAUKEE,, WI

HIRED TO HELP LOCATE AND ARRANGE A POTENTIAL MIXED-USE COMMERCIAL SPACE WITH PARTIAL FUNCTION AS A SPA/SALON AND COMMUNITY SPACE INCLUDING FULL BAR AND LOUNGE AREAS FEATURING GLASS PARTITION WALL TO DEFINE SPACIAL LAYOUT.

3,557 SQUARE FEET



CLICK IN BOX FOR PANO VIEW





— CLICK IN BOX FOR PANO VIEW





CLICK BOX FOR WALKTHROUGH





01 WEST ELEVATION
SCALE 1/4" = 1'-0"

W.N.C.

DRAWN BY CNC	
FILE NAME univ-5455_aldrich	
DATE OCTOBER 8, 2014	
LAST REVISION DATE JANUARY 7, 2014	
PROJECT # CORDAVL_00302	
SHEET A-4	

CORE design
ELEVATIONS (WEST & SOUTH)
5455 ALDRICH AVE SOUTH MINNEAPOLIS, MN 55419 | UNIVERSAL CONSTRUCTION, INC.
PLAN AND ARCHITECTURAL SERVICES, CORP. IS AN EQUAL OPPORTUNITY EMPLOYER. 2008 IBC CODES & CHAPTERS 1700 AND 1701. UNIFORMS: 2007 IBC.

CLIENT
PRIVATE CLIENT

PROJECT DESCRIPTION
4,500 SQ. F.T. CORNER LOT SINGLE FAMILY RESIDENCE - RENDERING & CONSTRUCTION DOCUMENTS

LOCATION
5455 ALDRICH AVE S MINNEAPOLIS, MN 55419

HIRED TO DESIGN A 4,500 SQUARE FOOT RESIDENTIAL HOME ON A LOT WITH AN EXISTING HOME TO BE DEMOLISHED.

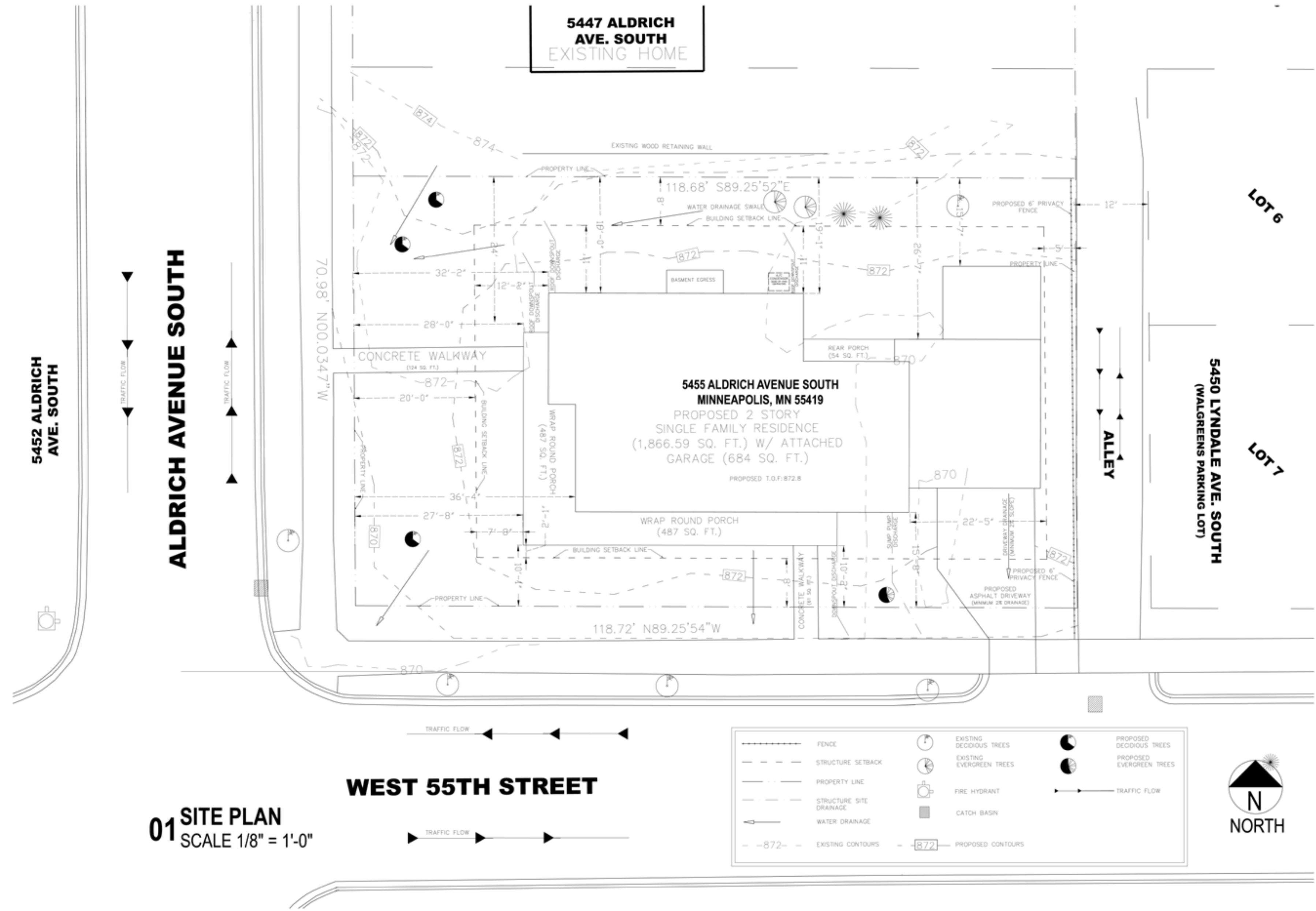
4,432 SQUARE FEET



01 WEST ELEVATION
SCALE 1/4" = 1'-0"

DRAWN BY CNC	
FILE NAME univ-5455_aldrich	
DATE OCTOBER 8, 2014	
LAST REVISION DATE JANUARY 7, 2014	
PROJECT # CORDAVL_00302	
SHEET A-4	

CORE design
ELEVATIONS (WEST & SOUTH)
5455 ALDRICH AVE SOUTH MINNEAPOLIS, MN 55419 | UNIVERSAL CONSTRUCTION, INC.
PLAN AND ARCHITECTURAL SERVICES, CORP. IS AN EQUAL OPPORTUNITY EMPLOYER. 2008 IBC CODES & CHAPTERS 1700 AND 1701. UNIFORMS: 2007 IBC.



GENERAL NOTES:

SITE ZONING INFORMATION

R1A (LOW DENSITY) SINGLE FAMILY DISTRICT

LOT AREA 8,389 SQ.FT.
 STRUCTURE RESTRICTIONS
 FRONT YARD: 20FT
 SIDE YARD: 8FT
 REAR YARD 5FT
 HEIGHT 2.5 STORIES OR 28 FT, WHICHEVER IS LESS

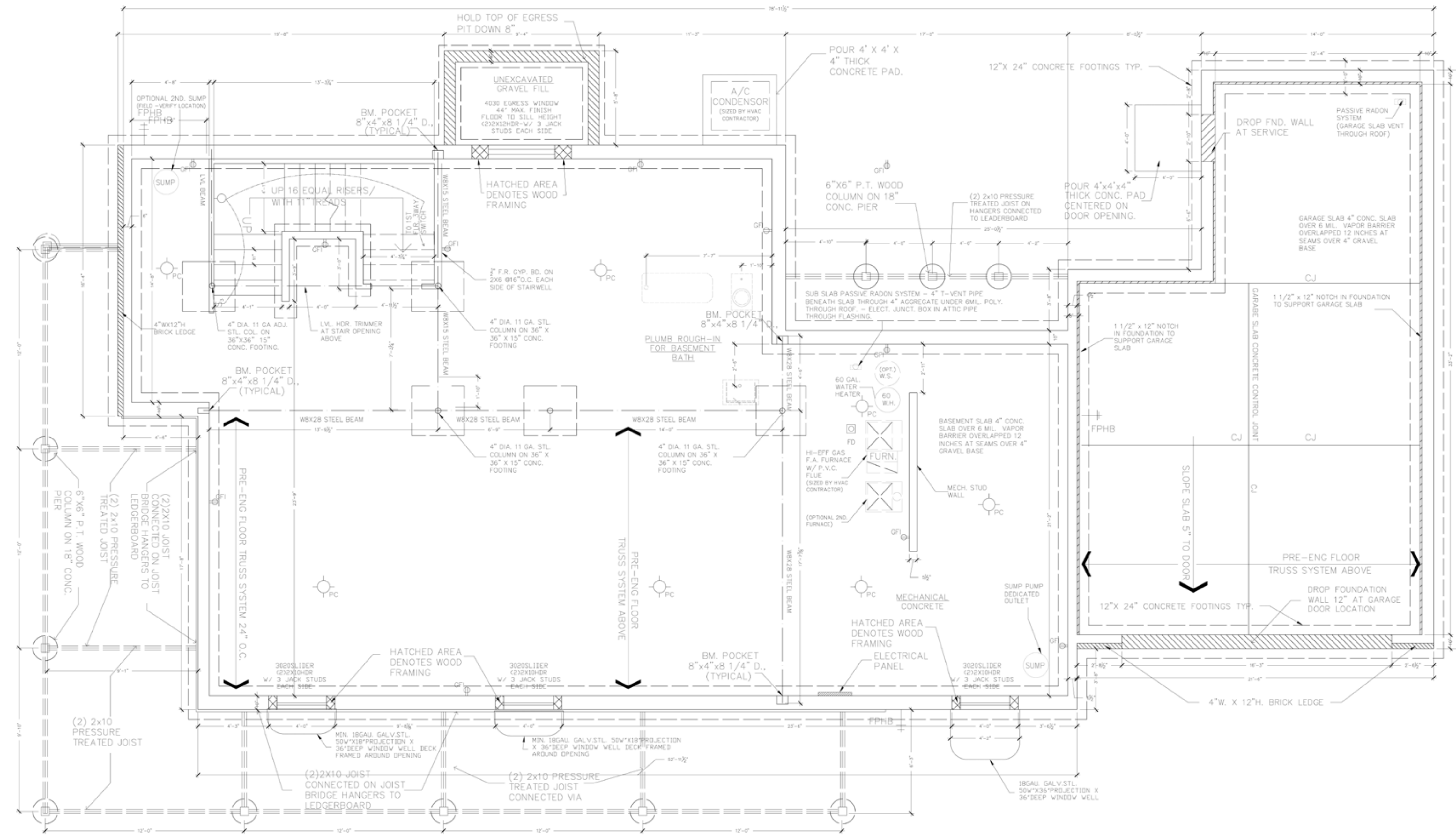
SITE LEGAL DESCRIPTION
 HENNEPIN COUNTY
 BLOCK 008 MORTIMERS ADDITION TO MINNEAPOLIS LOT 8 & S 24 FT OF LOT 9

EROSION CONTROL PLAN NOTES:
 See Attached Land Survey for Details
 Hennepin County PIN 2102824110097

LOT COVERAGE = 2,550 SQ FT
30.3% OF LOT

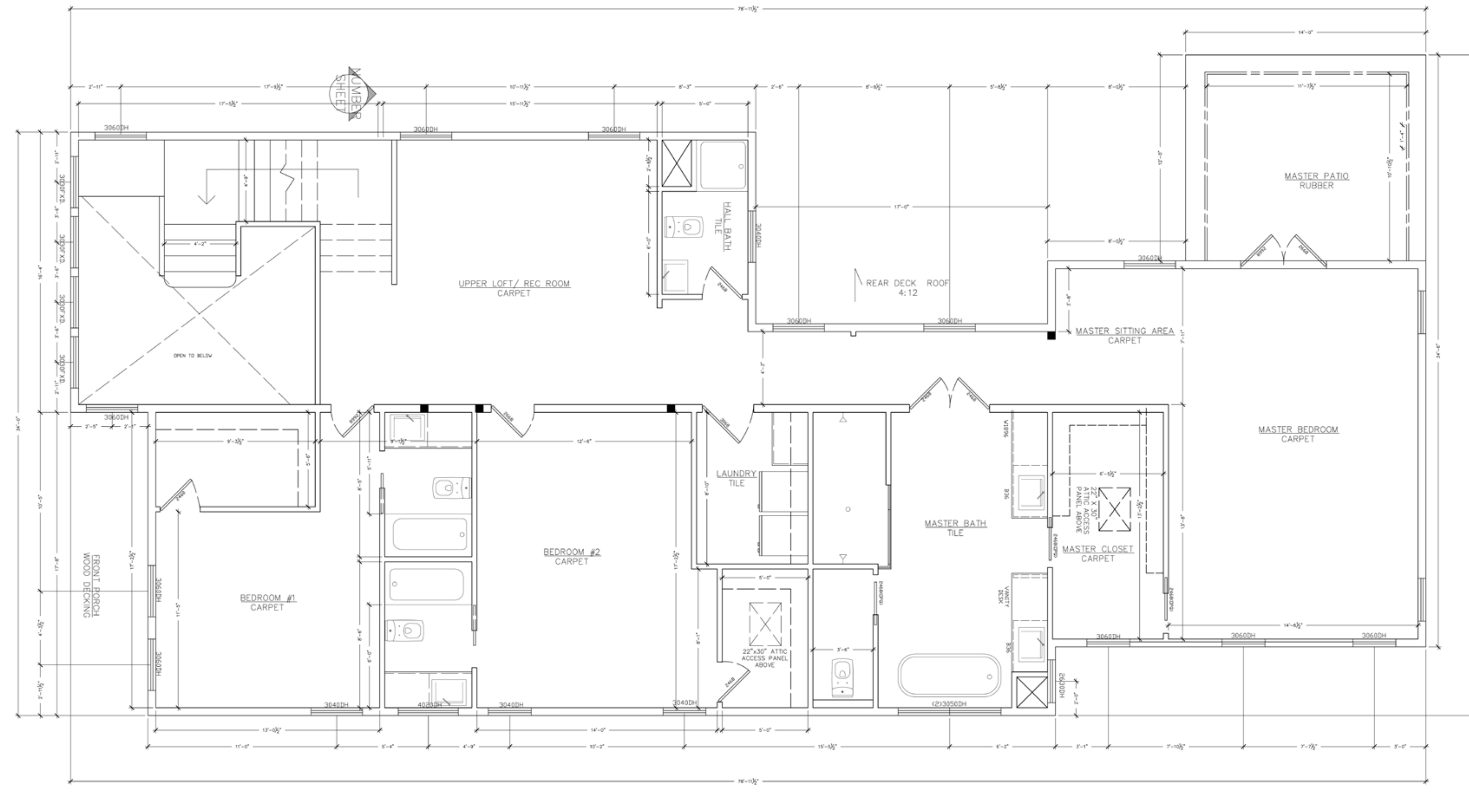
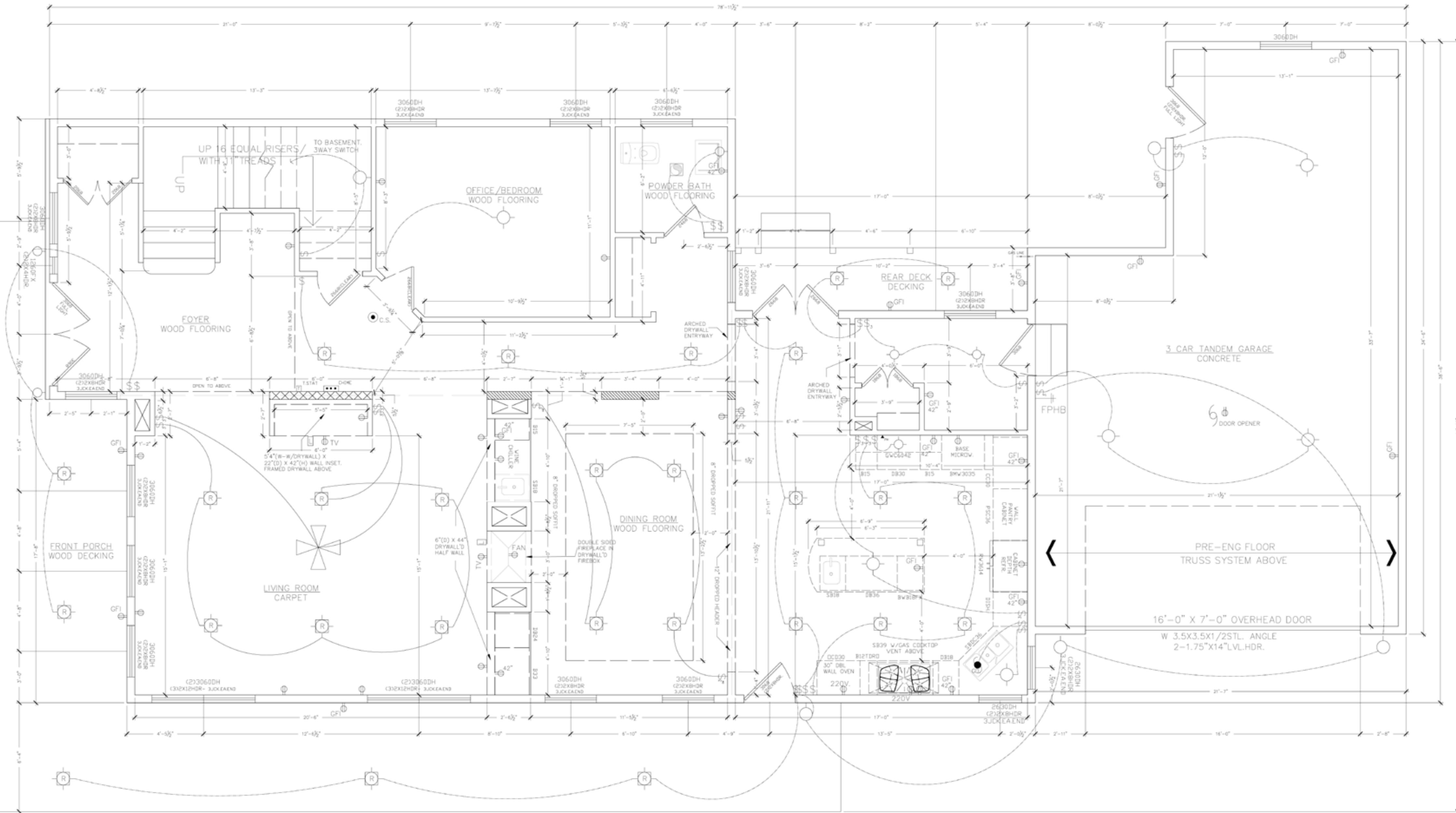
HEIGHT OF BUILDING
27'-4" TO RIDGE FROM GRADE

NUMBER OF SITE TREES TO EQUAL OR EXCEED 3" PER 1,000 SQ. FT. OR 8.39 3" MIN. DIAMETER TREES



01 UNFINISHED FOUNDATION FLOOR PLAN
 SCALE 3/8" = 1'-0"

ELECTRICAL SYMBOLS			
SYMBOL	SYMBOL DESCRIPTION	SYMBOL	SYMBOL DESCRIPTION
○	110V OUTLET	○	DIMMER SWITCH
○	OUTLET w/ GFI PROTECTION	○	THREE WAY SWITCH
○	WATERPROOF OUTLET w/ GFI PROTECTION	○	FOUR WAY SWITCH
○	SWITCHED OUTLET	○	DISPOSAL
○	220V OUTLET	○	FAN/LIGHT COMBINATION
○	CEILING OUTLET	○	PHONE JACK
○	CLG. FAN RECEPT.	○	T.V. JACK
○	SINGLE POLE SWITCH	○	CHIME
○	FAN/LIGHT COMBINATION	○	SMOKE DETECTOR

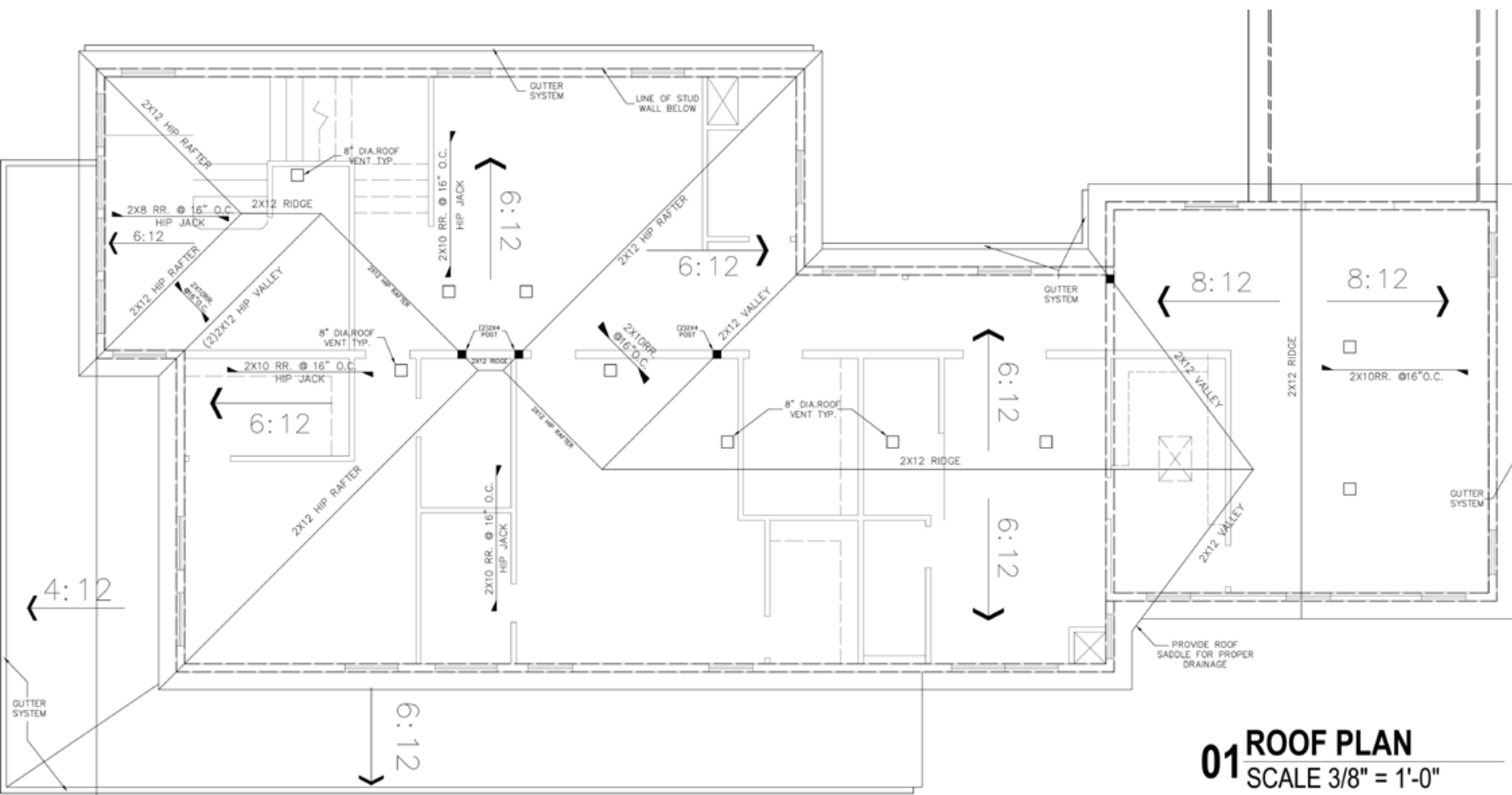


01 1ST FLOOR PLAN
SCALE 3/8" = 1'-0"

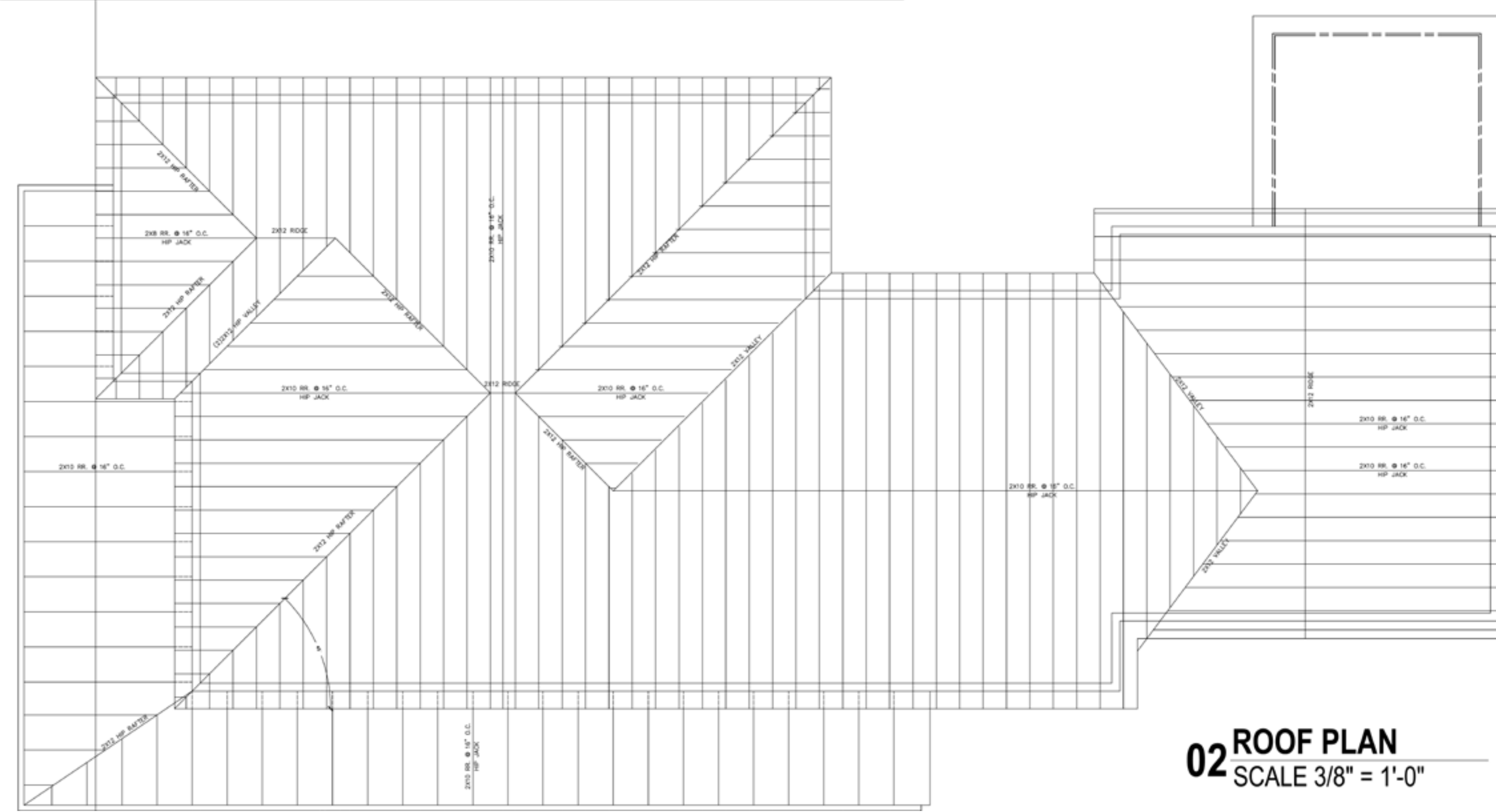
ELECTRICAL			
ELECTRICAL DEVICE SYMBOLS			
SYMBOL	SYMBOL DESCRIPTION	SYMBOL	SYMBOL DESCRIPTION
⊕	110V OUTLET	⊖	DIMMER SWITCH
⊕	OUTLET w/ GFI PROTECTION	⊖	THREE WAY SWITCH
⊕	WATERPROOF OUTLET w/ GFI PROTECTION	⊖	FOUR WAY SWITCH
⊕	SWITCHED OUTLET	⊖	DISPOSAL
⊕	220V OUTLET	⊖	FAN/LIGHT COMBINATION
⊕	CEILING OUTLET	⊖	PHONE JACK
⊕	CLG. FAN RECEPT.	⊖	T.V. JACK
⊕	SINGLE POLE SWITCH	⊖	CHIME
⊕	FAN/LIGHT COMBINATION	⊖	SMOKE DETECTOR

01 2ND FLOOR PLAN
SCALE 3/8" = 1'-0"

- GENERAL NOTES:**
1. ALL FLOOR JOIST ARE PREENGINEERED FLOOR TRUSSES.
 2. FOOTING SIZES 8" X 16" SUPPORTING FRAMING 10" X 18" SUPPORTING BRICK VENEER.
 3. FOUNDATION WALLS SHALL BE 10" THICK PERIMETER AND 8" INTERIOR.
 4. NO MORE THAN 12" PERMITTED BETWEEN ELECTRICAL RECEPTILES AND THE SHALL BE LOCATED NOT MORE THAN 6" FROM WALL.
 5. PROVIDE A 1 HOUR FIRE SEPERATION BETWEEN GARAGE AND LIVING AREAS.
 6. INSTALL (1) ELECTRIC FIRE



01 ROOF PLAN
SCALE 3/8" = 1'-0"



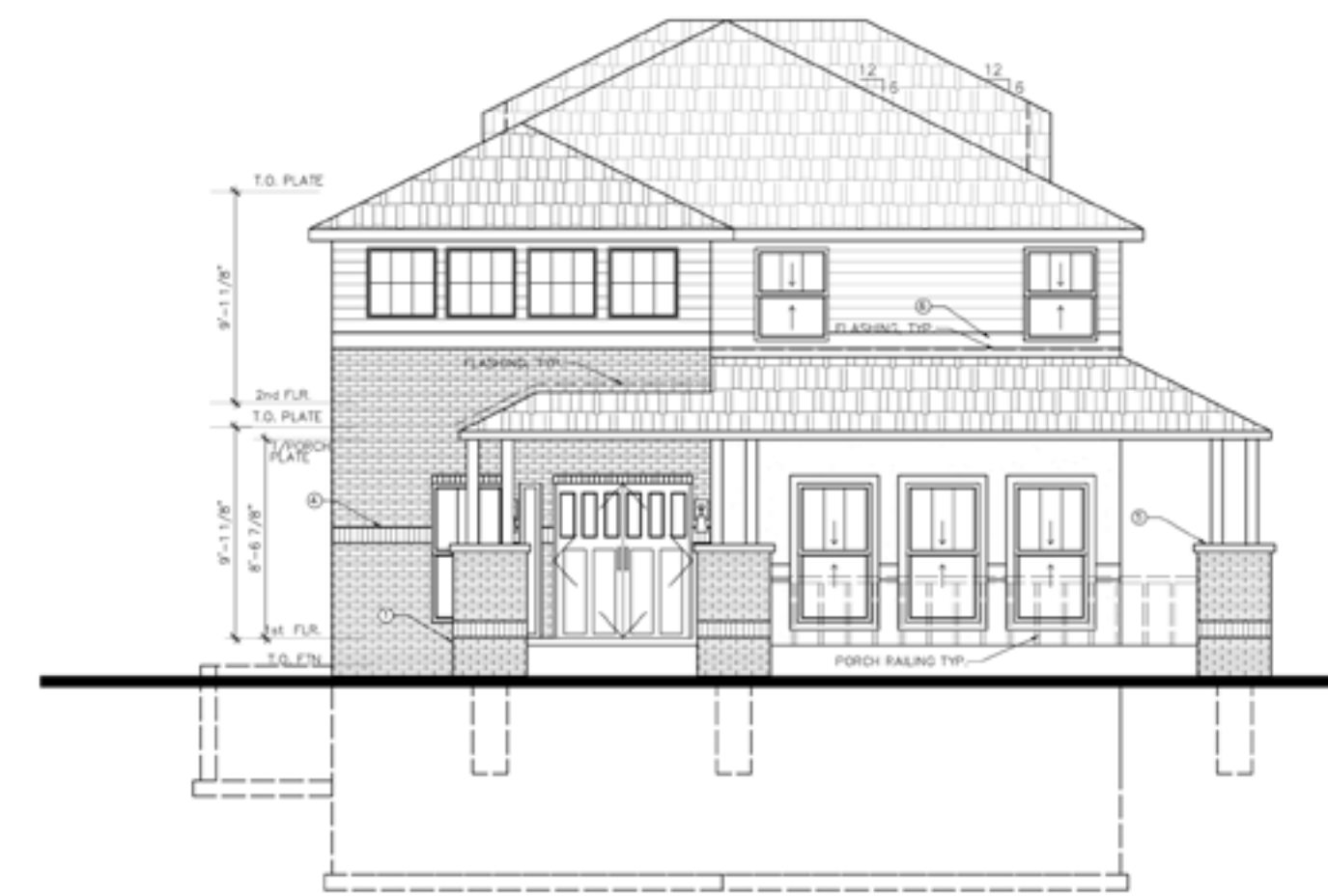
02 ROOF PLAN
SCALE 3/8" = 1'-0"

GENERAL NOTES:

1. ALL FLOOR JOIST ARE PREENGINEERED FLOOR TRUSSES.
2. FOOTING SIZES 8" X 16" SUPPORTING FRAMING 10" X 18" SUPPORTING BRICK VENEER.
3. FOUNDATION WALLS SHALL BE 10" THICK PERIMETER AND 8" INTERIOR.
4. NO MORE THAN 12" PERMITTED BETWEEN ELECTRICAL RECEPTILES AND THEY SHALL BE LOCATED NO MORE THAN 6' FROM WALL.
5. PROVIDE A 1 HOUR FIRE SEPERATION BETWEEN GARAGE AND LIVING AREAS.
6. INSTALL (1) ELECTRIC FIRE



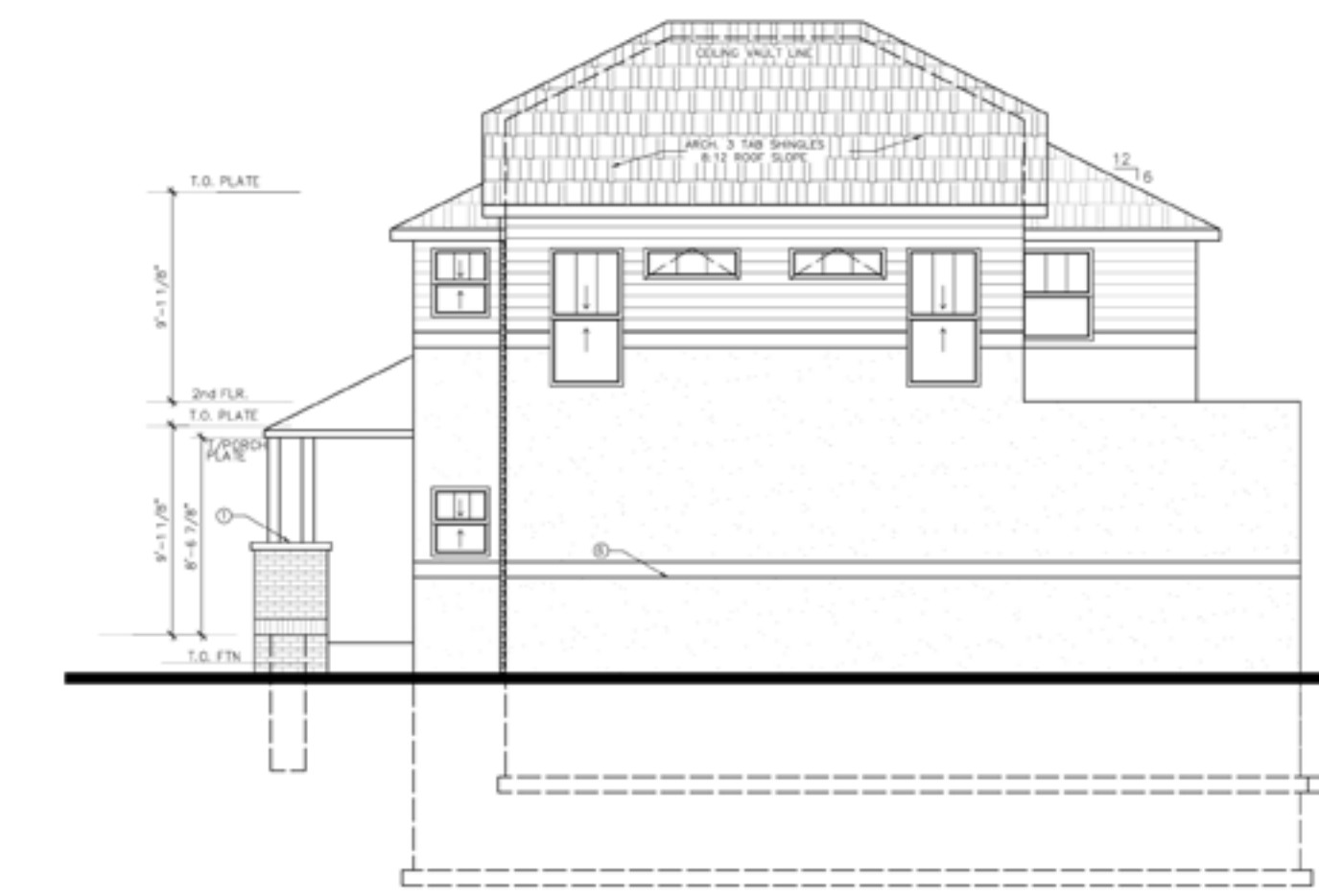
02 SOUTH ELEVATION
SCALE 1/8" = 1'-0"



01 WEST ELEVATION
SCALE 1/8" = 1'-0"



02 NORTH ELEVATION
SCALE 1/8" = 1'-0"



01 EAST ELEVATION
SCALE 1/8" = 1'-0"

ELEVATION NOTES

- ELEVATION MATERIALS**
- 1 FACE BRICK OVER BUILDING WRAP
 - 2 STUCCO
 - 3 CEMENT BASE HORIZONTAL SIDING
 - 4 STONE/BRICK ACCENT COURSE
 - 5 STONE CAP
 - 6 BAND BOARD TRIM

GLASS COVERAGE PERCENTAGE
 WEST (FRONT) ELEVATION 24%
 SOUTH (SIDE)(PUBLIC STREET) 20%
 EAST (REAR) ELEVATION 10%
 NORTH (SIDE YARD) ELEVATION 17%

AVERAGE EST. BUILDING HEIGHTS WITHIN 100'
 5452 ALDRICH AVE S. 29'+/-
 5447 ALDRICH AVE S. 25'+/-
 5501 ALDRICH AVE SOUTH 17'+/-
 5455 ALDRICH AVE SOUTH 23'+/- (SUBJECT EXISTING)
 5455 ALDRICH AVE SOUTH 28' (PROPOSED)
 23.5' AVERAGE W/ PREDOMINATE 29'+/- Z E



CLIENT
EDINA REALTY

PROJECT DESCRIPTION
COMMERCIAL SPACE LAYOUT & CONCEPT - ARCHITECTURAL 3-D RENDERING & INTERIOR DESIGN

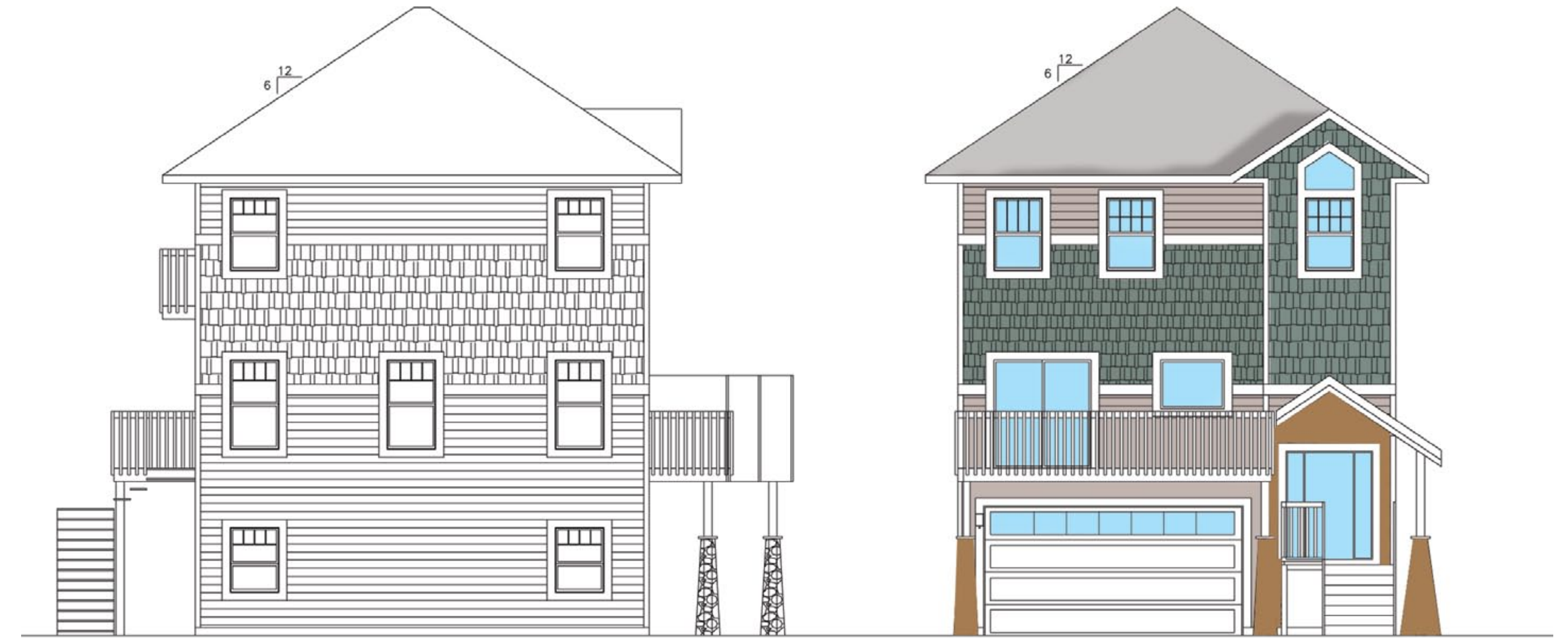
LOCATION
3800 FRANCE AVENUE - SAINT LOUIS PARK, MN

HIRED TO PROVIDE REMODEL OPTIONS FOR A DIFFICULT AND SMALL KITCHEN.

750 SQUARE FEET







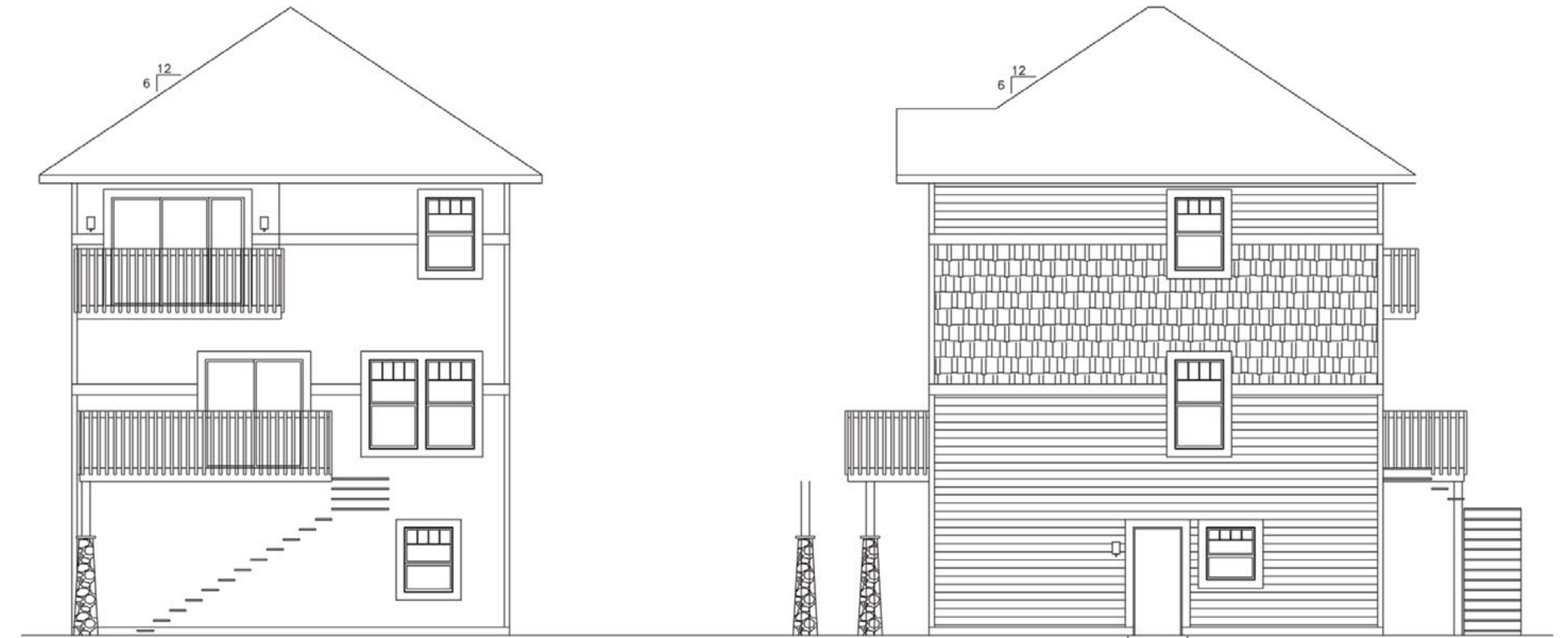
CLIENT
PRIVATE CLIENT

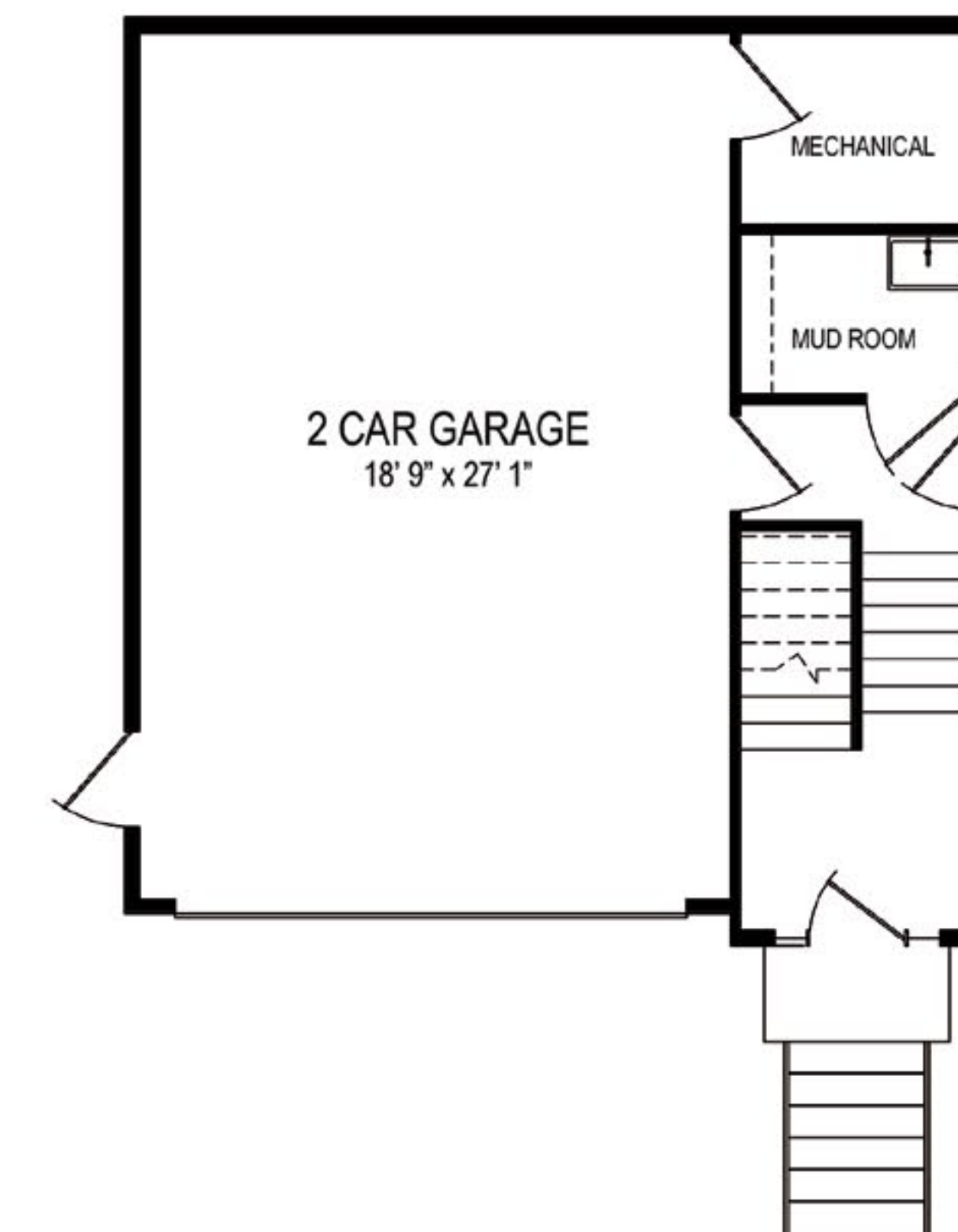
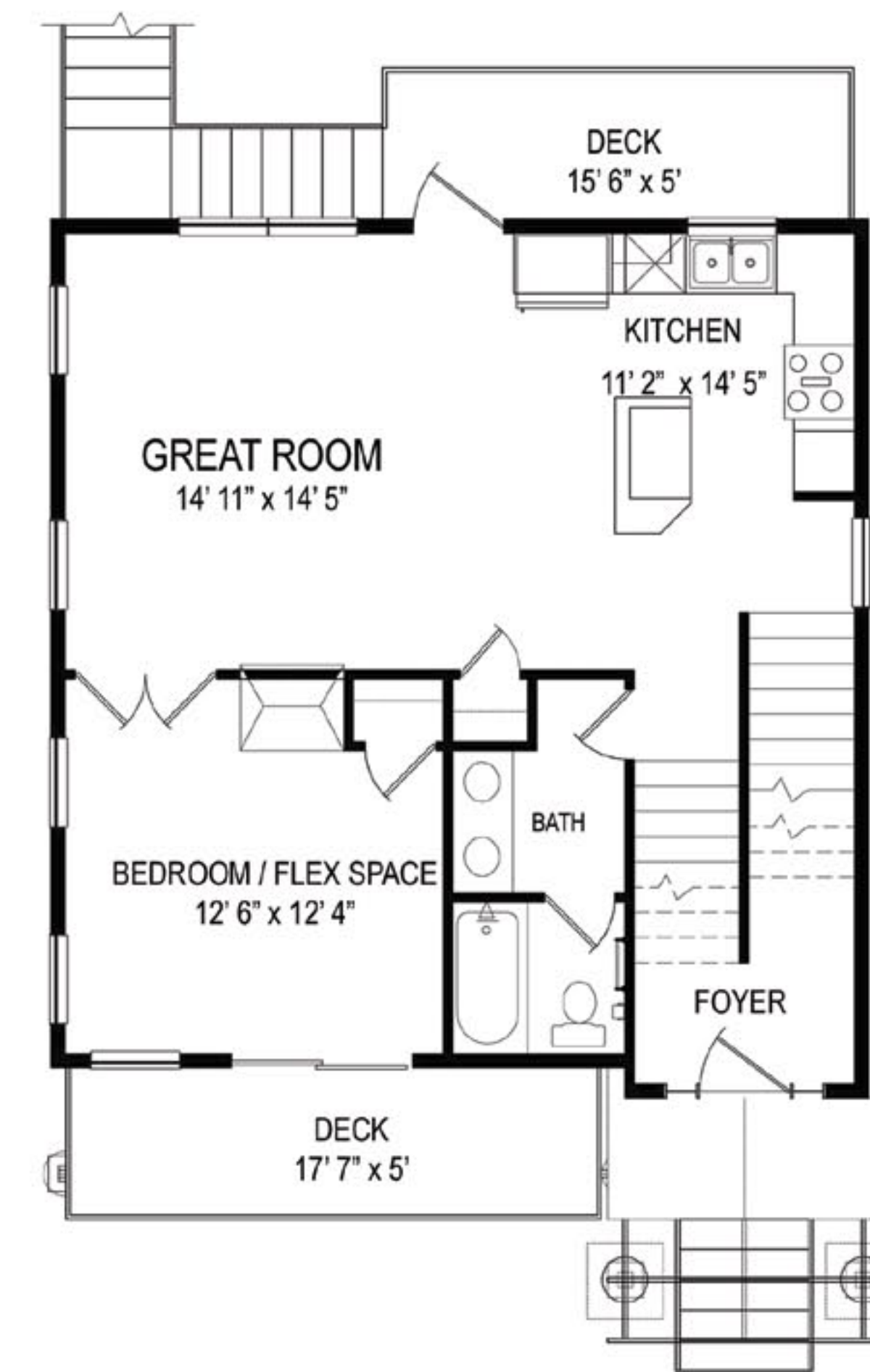
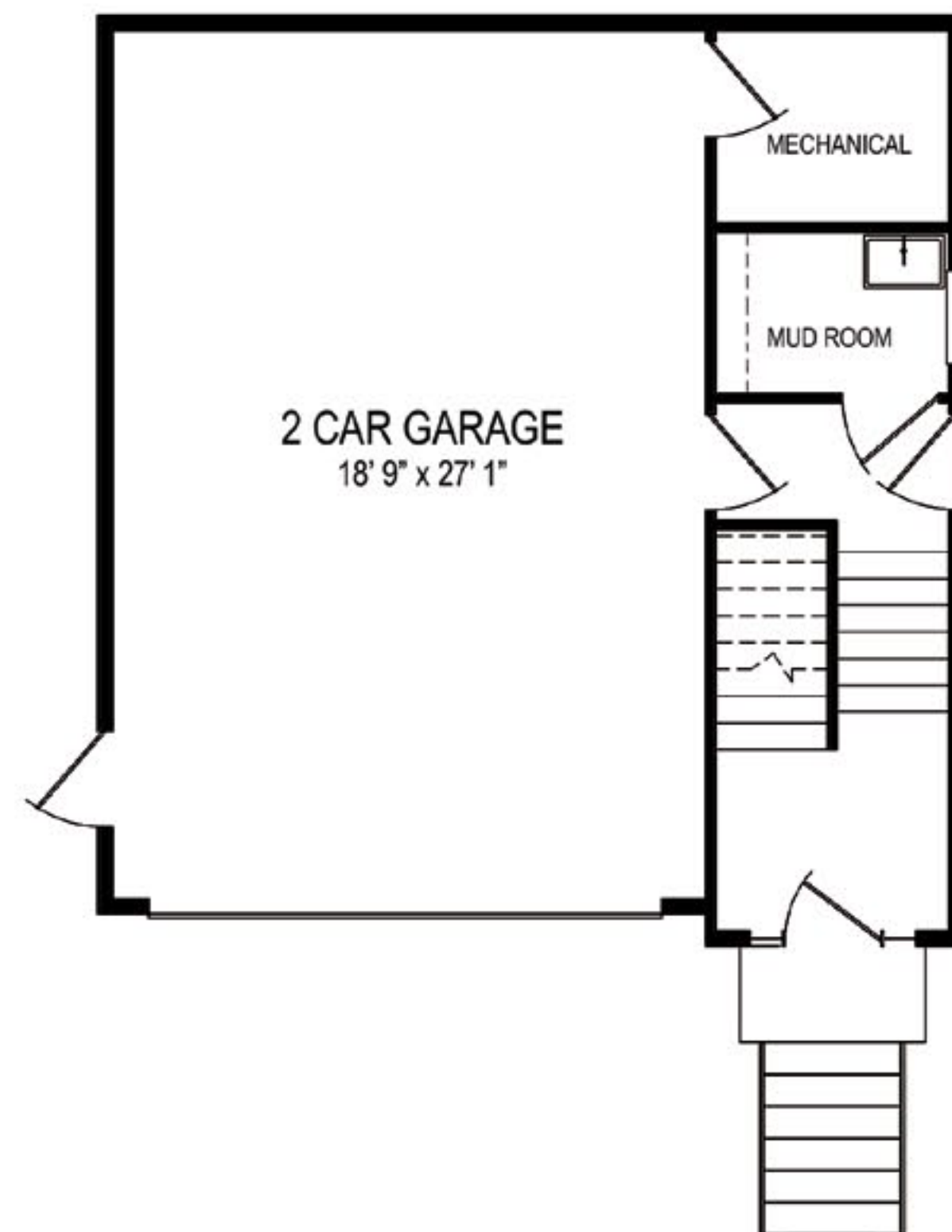
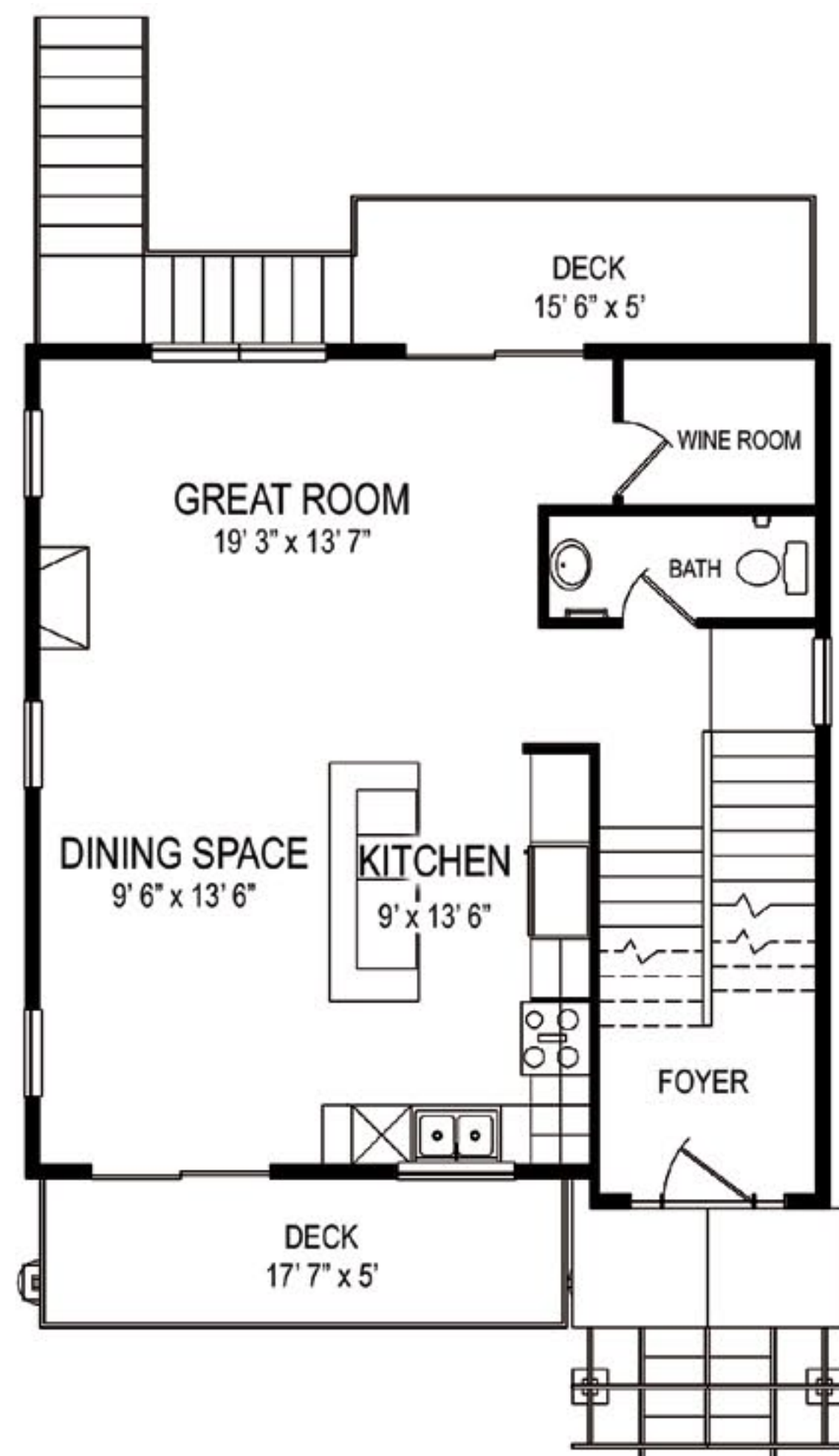
PROJECT DESCRIPTION
DETACHED TOWN HOME & A SINGLE FAMILY RESIDENCE - DESIGN & CONSTRUCTION DOCUMENTS

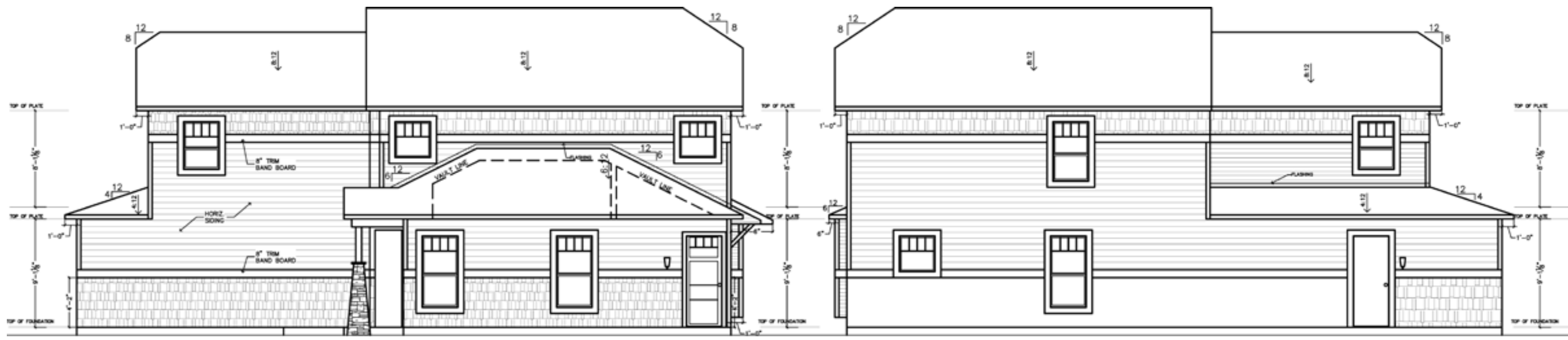
LOCATION
28000-28425 149TH ST, ISLAND LAKE WI
CHAPPAQUA LANDING ON ISLAND LAKE - WEYHAUSER, WISCONSIN

HIRED TO DESIGN FOUR DETACHED TOWN HOMES AND ONE SINGLE FAMILY RESIDENCE
ON ISLAND LAKE.

4,432 SQUARE FEET





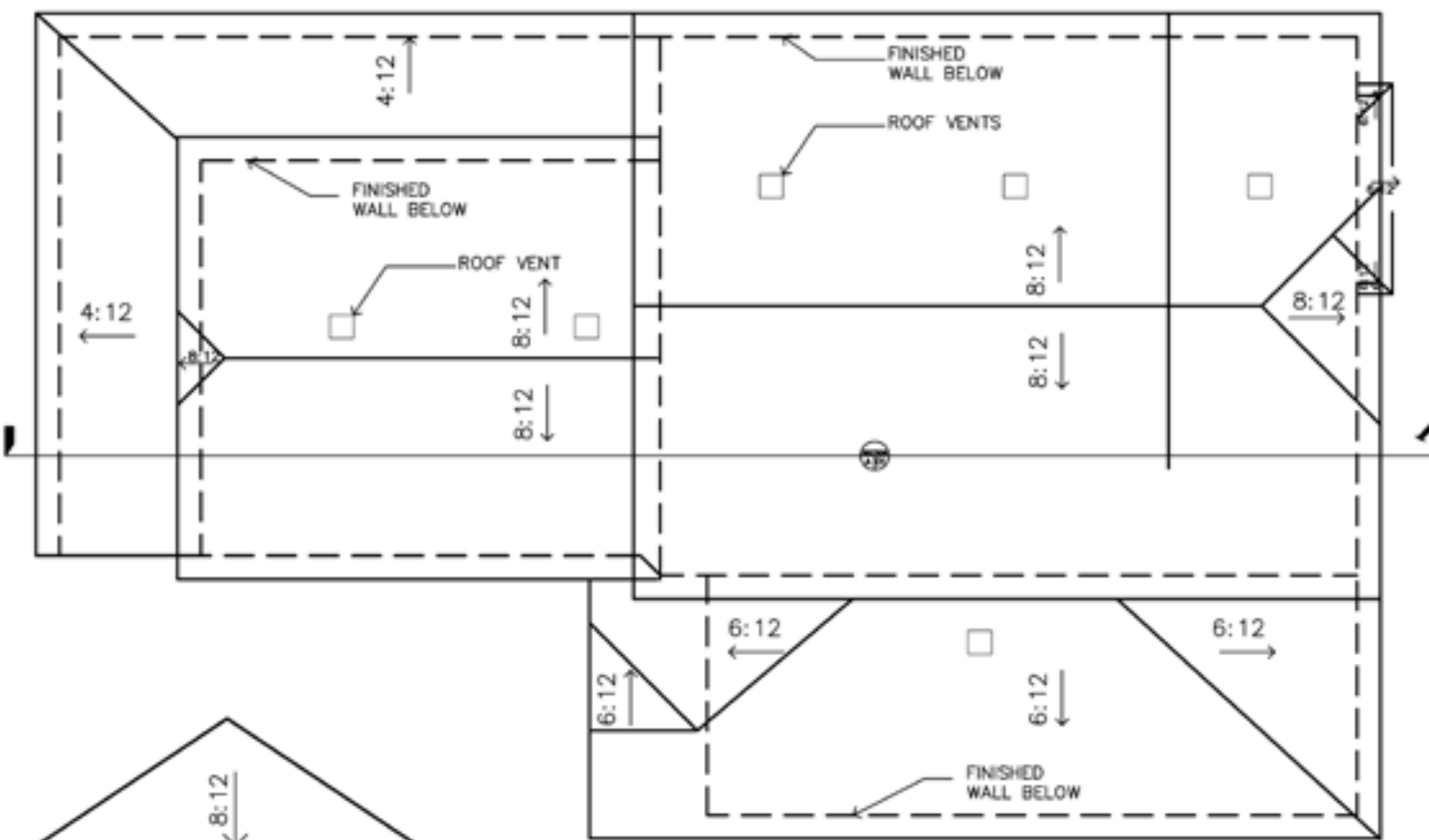


RIGHT ELEVATION

SCALE: 1/8" = 1'-0"

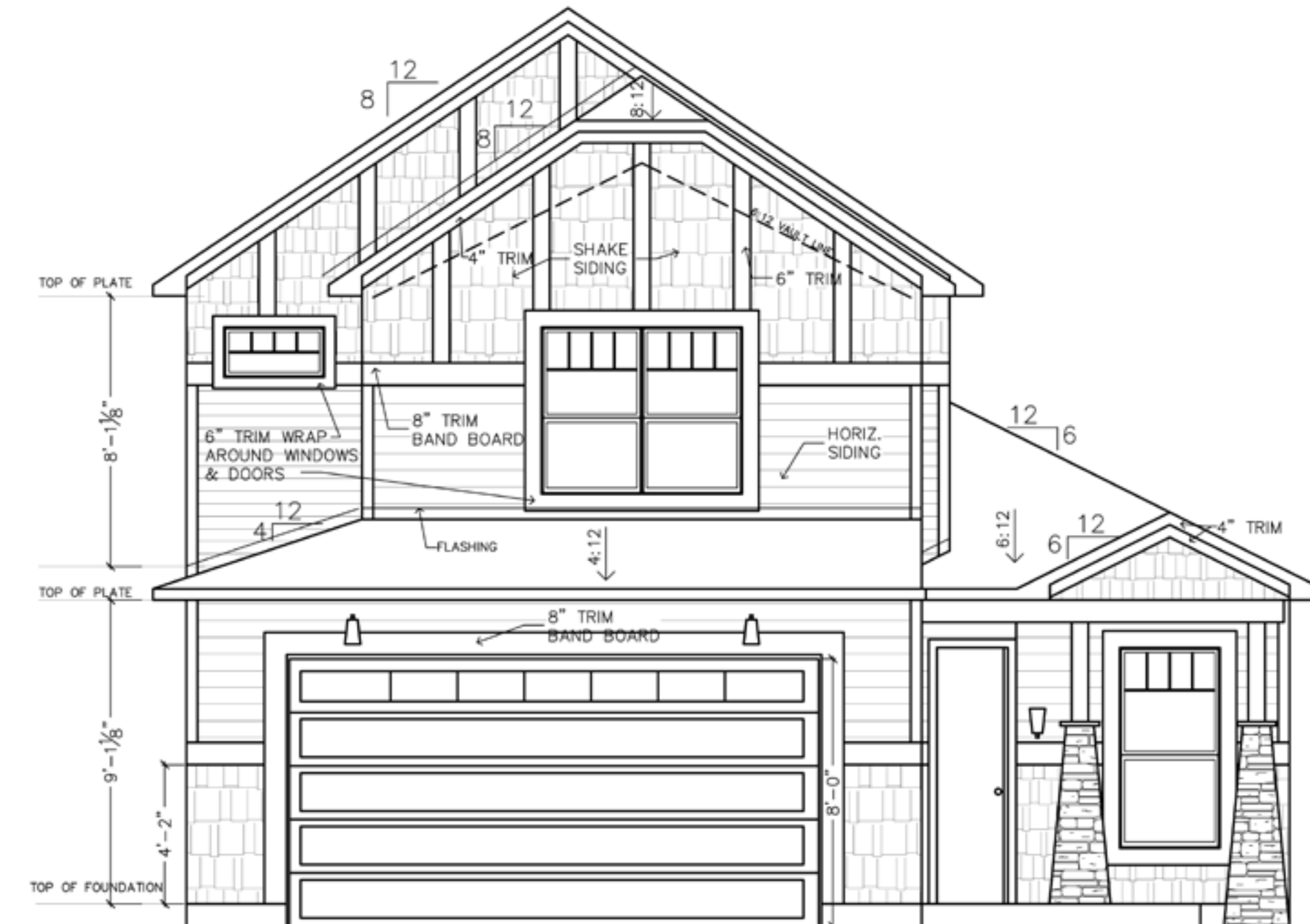
LEFT ELEVATION

SCALE: 1/8" = 1'-0"



ROOF PLAN

SCALE: 1/8" = 1'-0"



FRONT ELEVATION

SCALE: 3/8" = 1'-0"

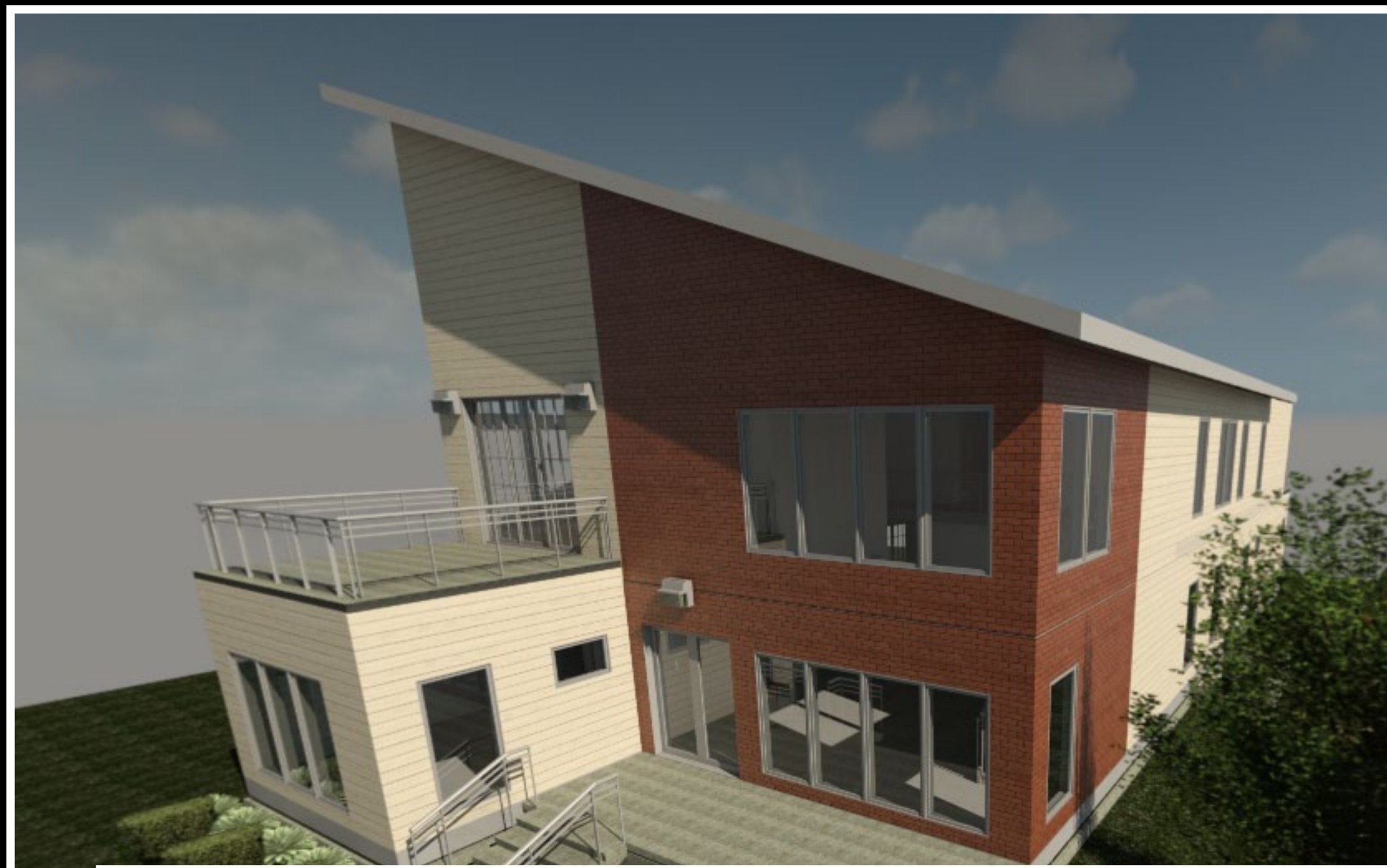


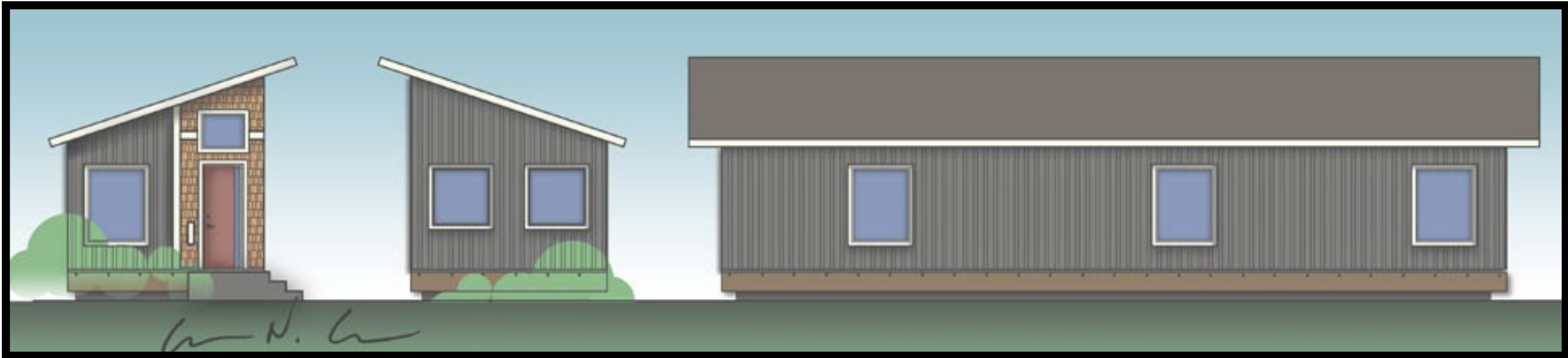
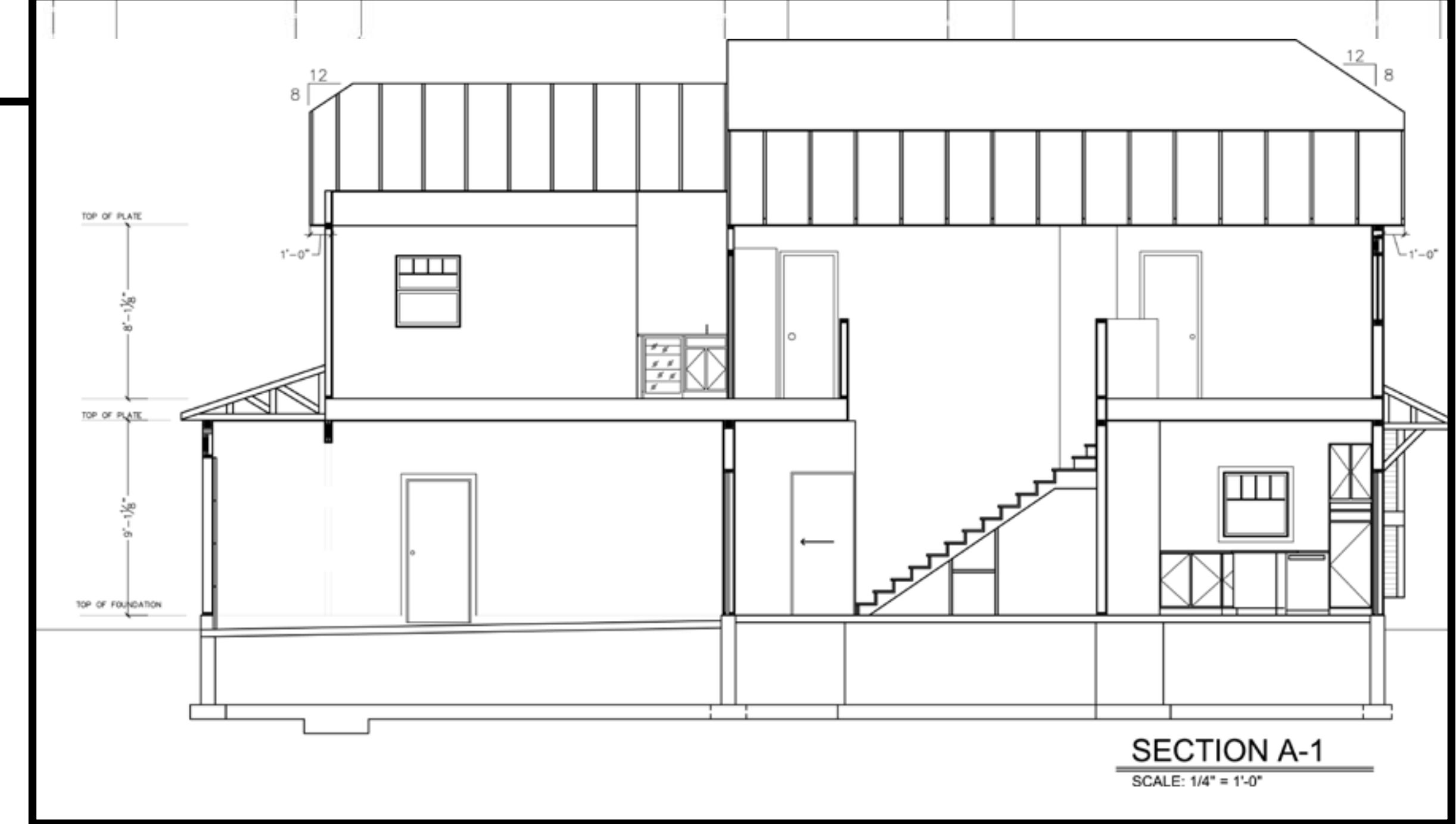
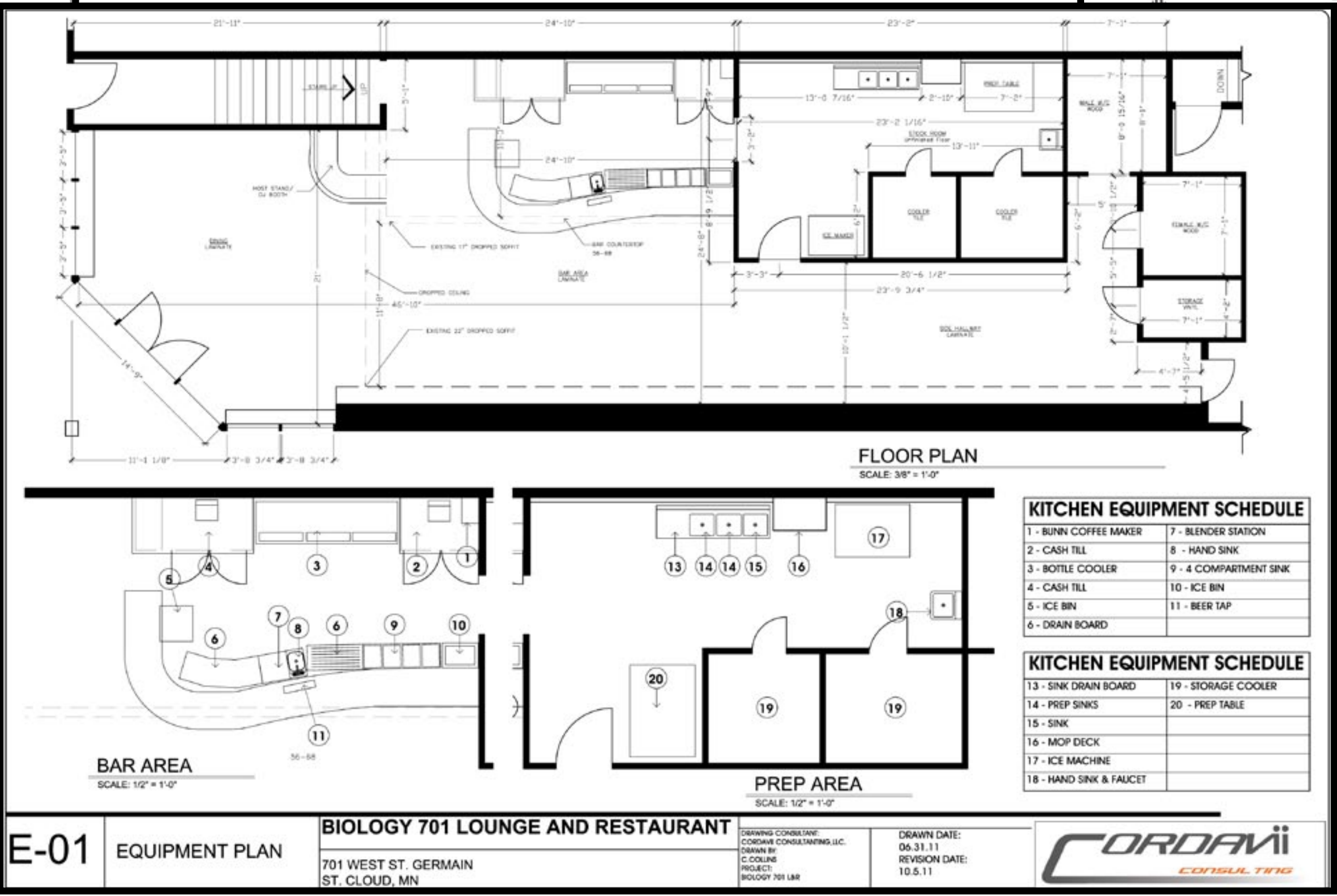
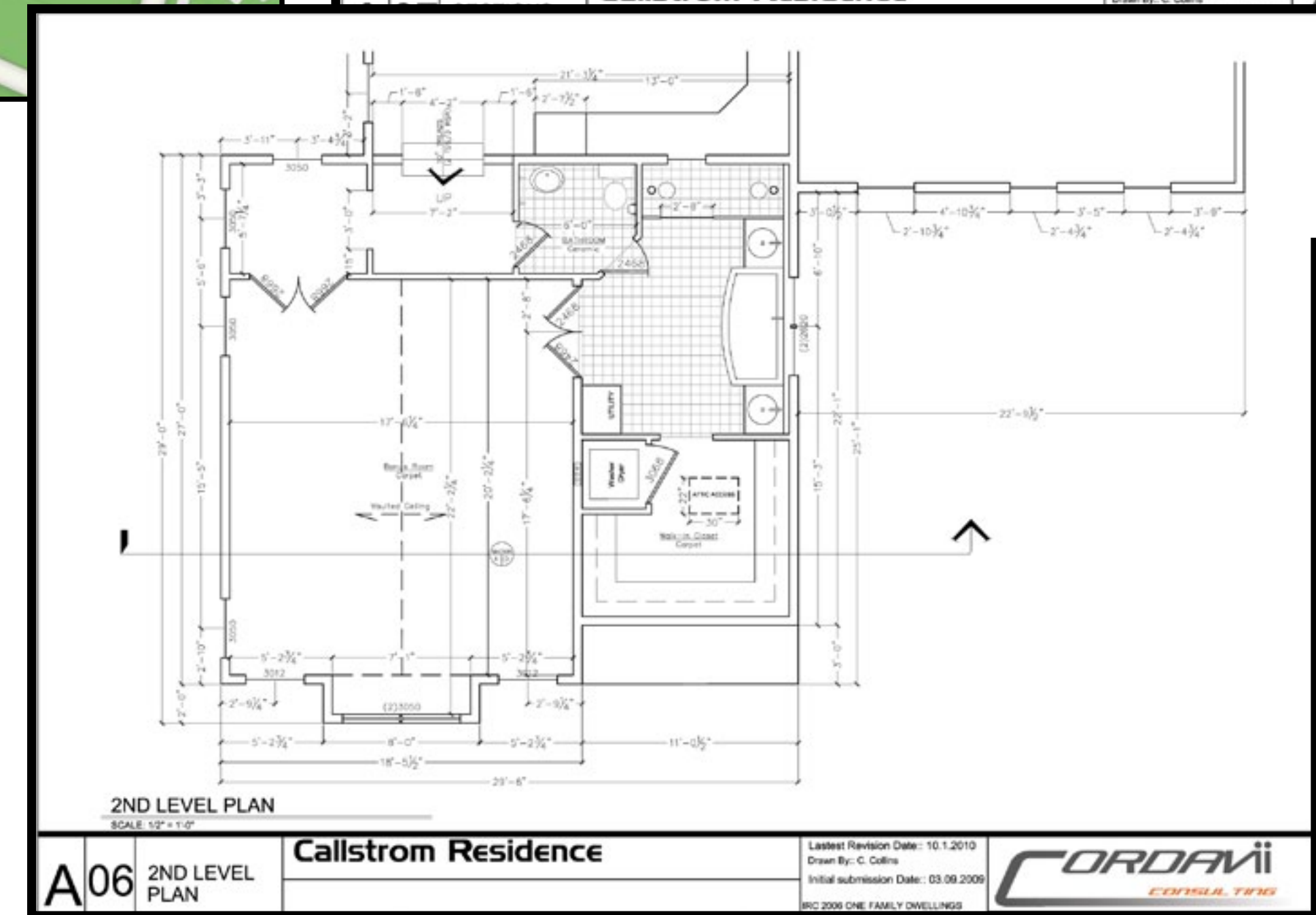
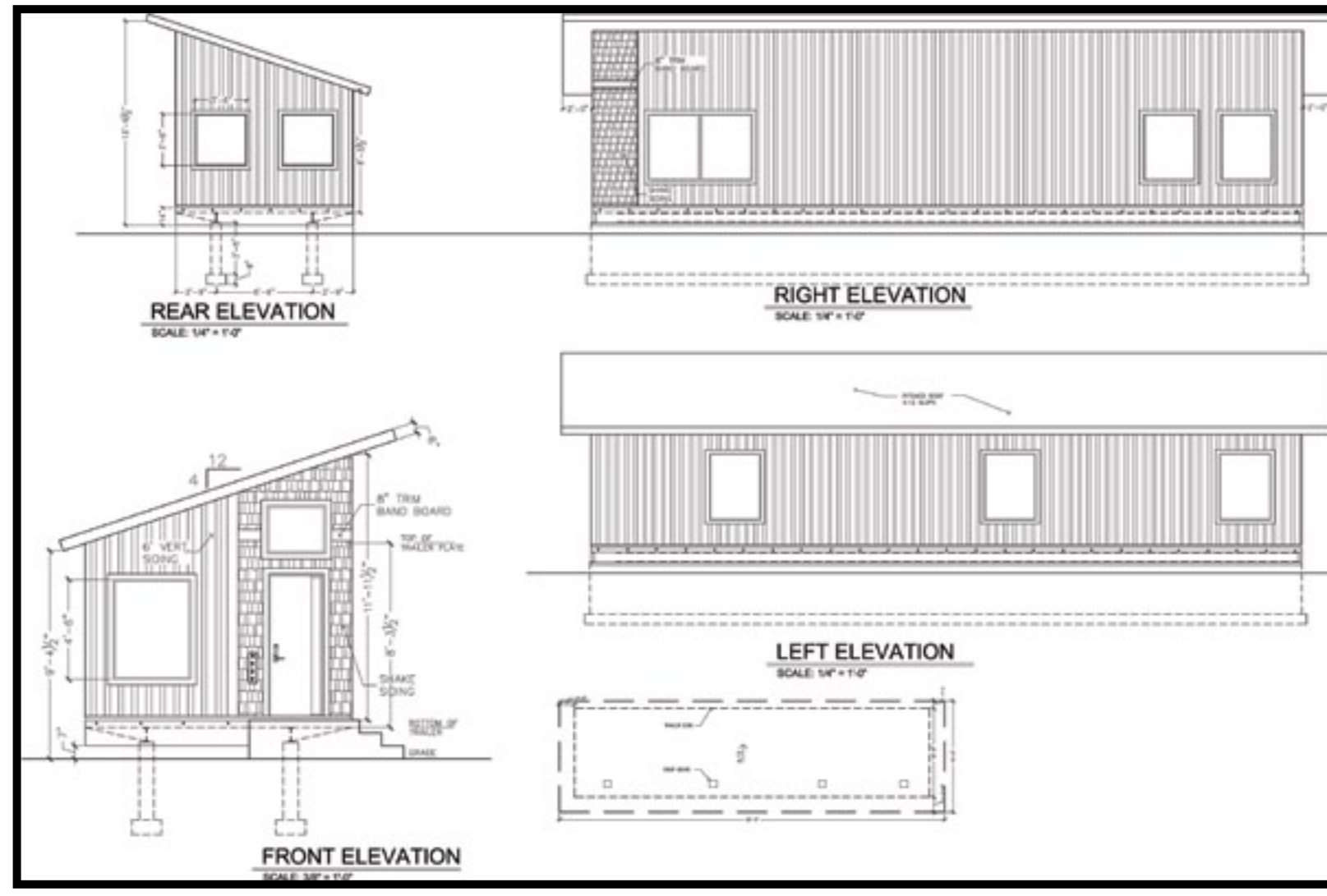
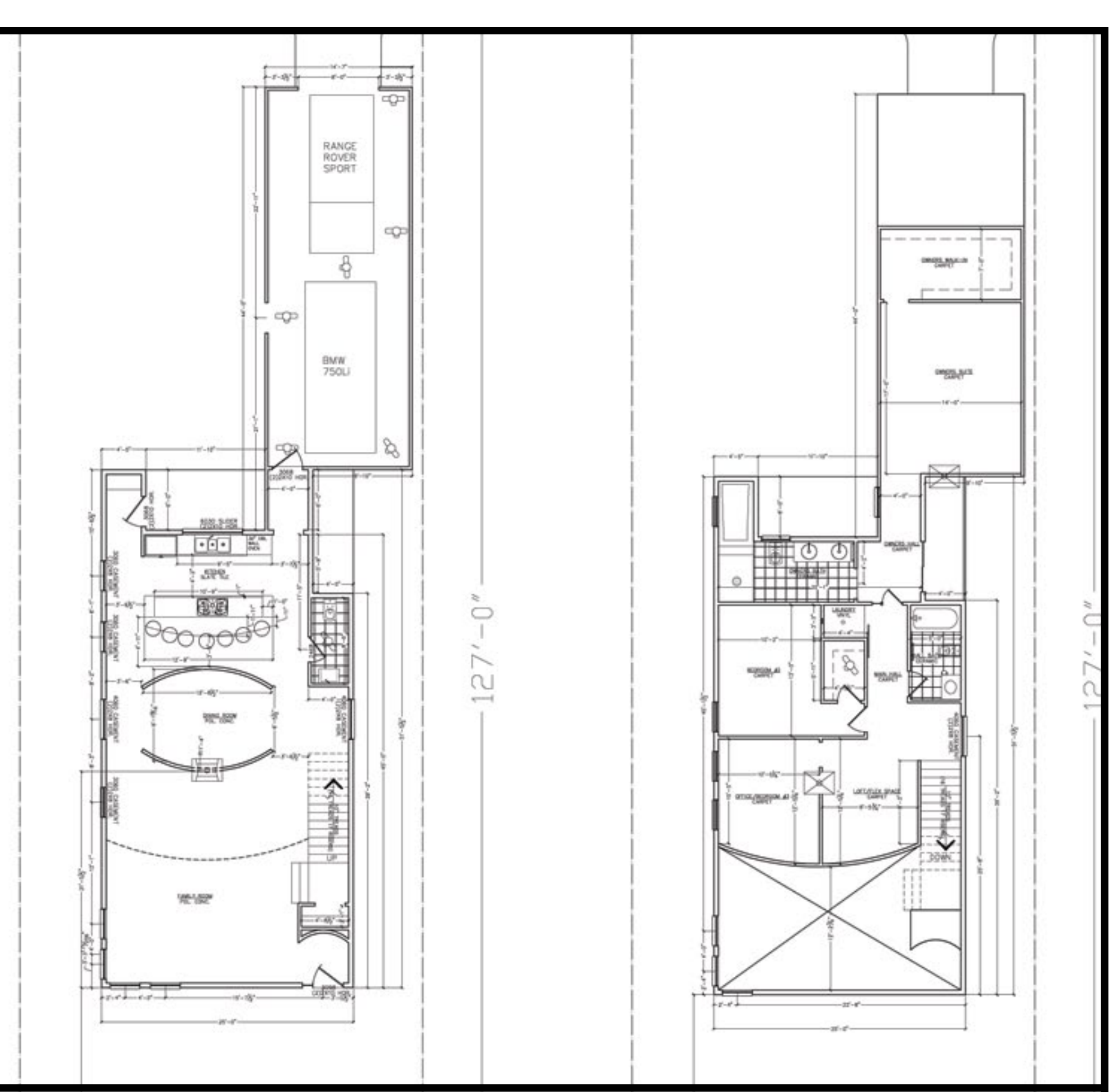
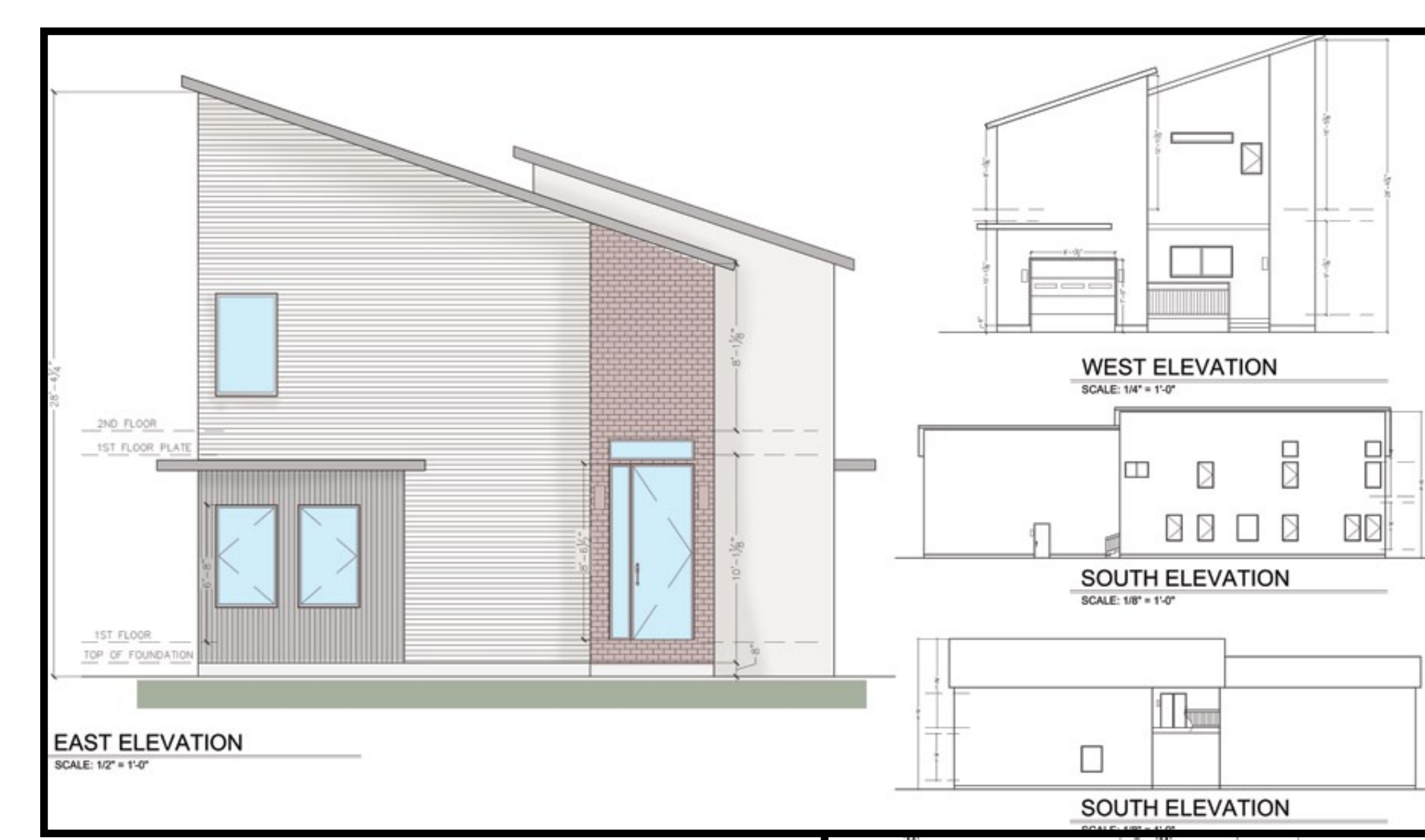
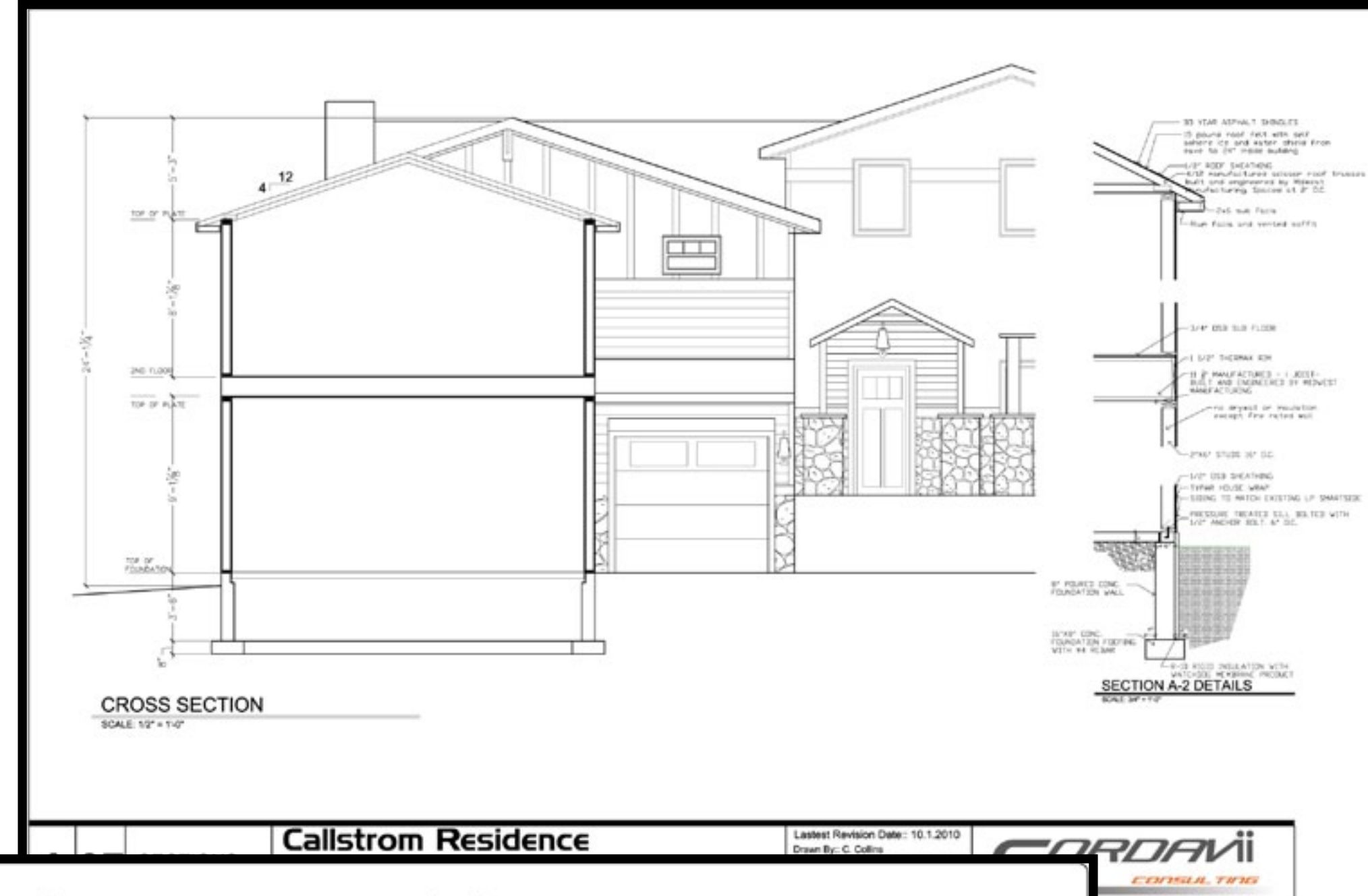
LAKE ELEVATION

SCALE: 3/8" = 1'-0"

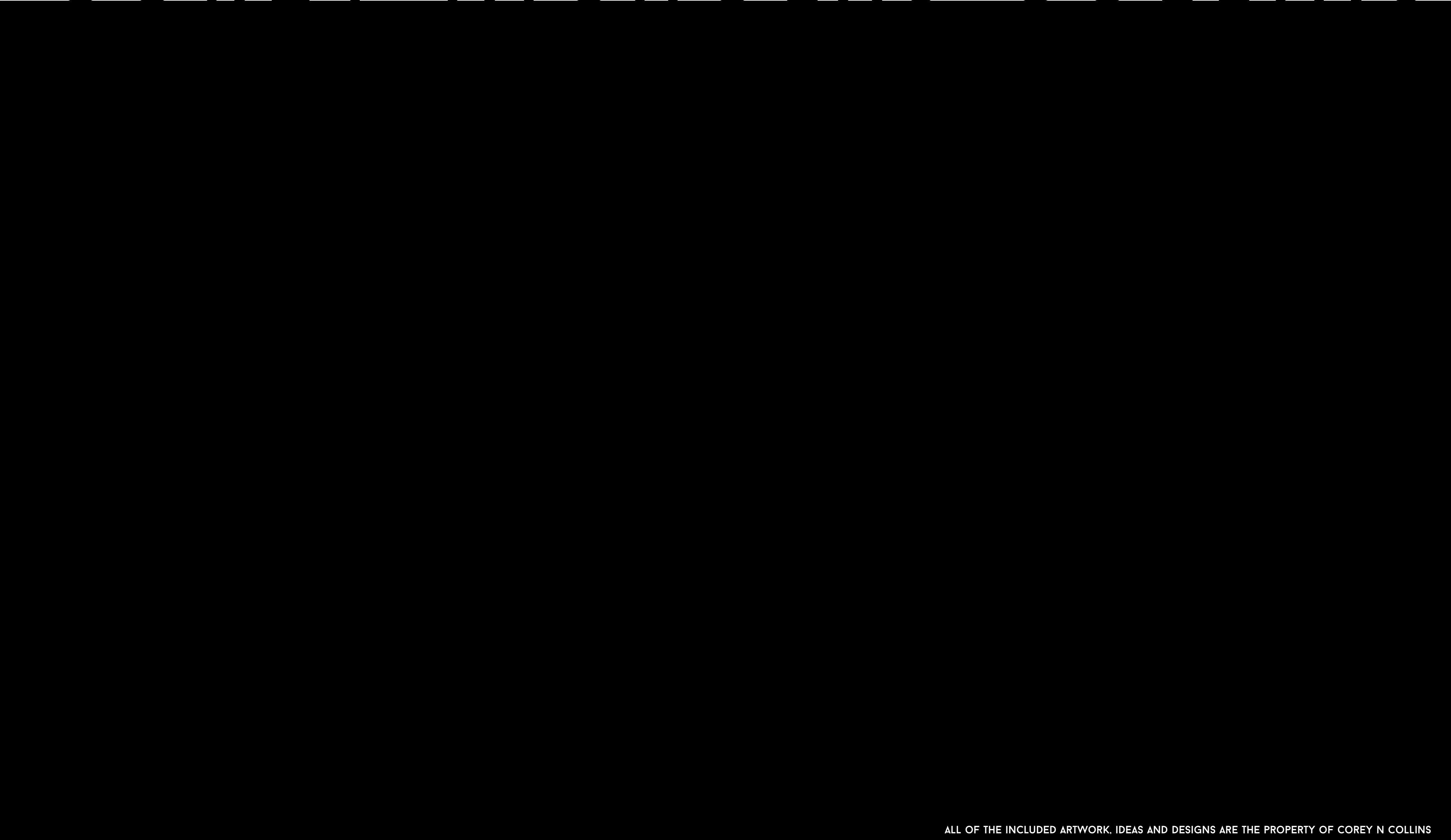


GENERAL PROJECTS & DESIGN





COREY NICHOLAS COLLINS



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